



PLANNING DEVELOPMENT MANAGEMENT COMMITTEE



20th May

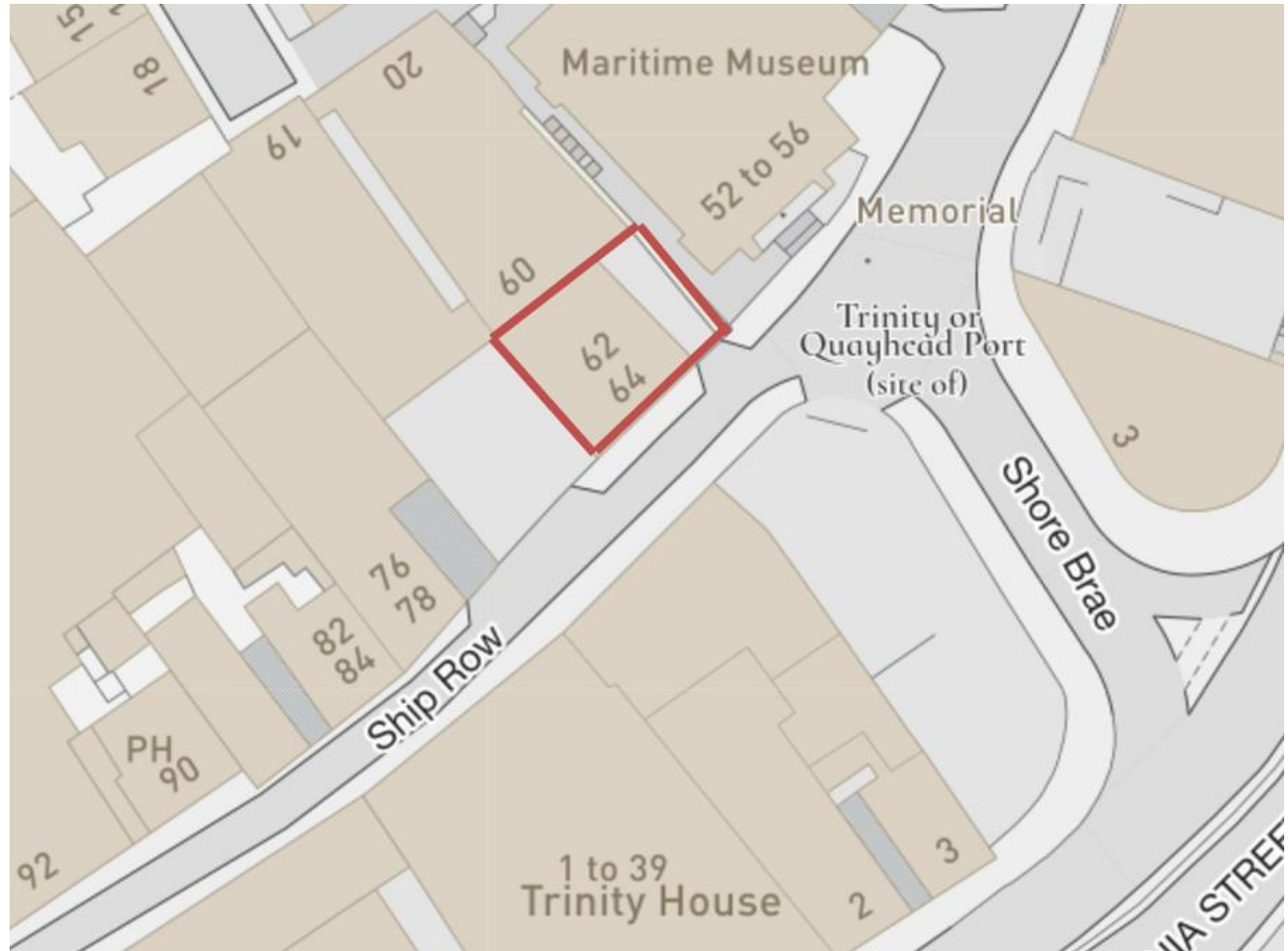
Description: Substantial demolition of single storey building (side walls and roof) with Shiprow facing wall remaining unaltered (Retrospective).

Address: 62-64 Shiprow

Type of application: Detailed Planning Permission

Application number: 210397/CAC

Site Location



Felt flat roof attached to neighbouring property wall located on boundary via abutment flashing.

Neighbouring property wall to be protected and retained throughout the works.

14,303

Wall and roof coverings to existing building to be demolished

CAR PARK (ASPHALT)

Existing roof coverings and timber substraat to be removed

Existing steel beams to be inspected, retained, cleaned and given external grade paint finish

Half height wall to be retained

DISUSED NIGHTCLUB

Felt flat roof

13,019

Modern concrete block wall to be removed.

Rubble natural stone wall.

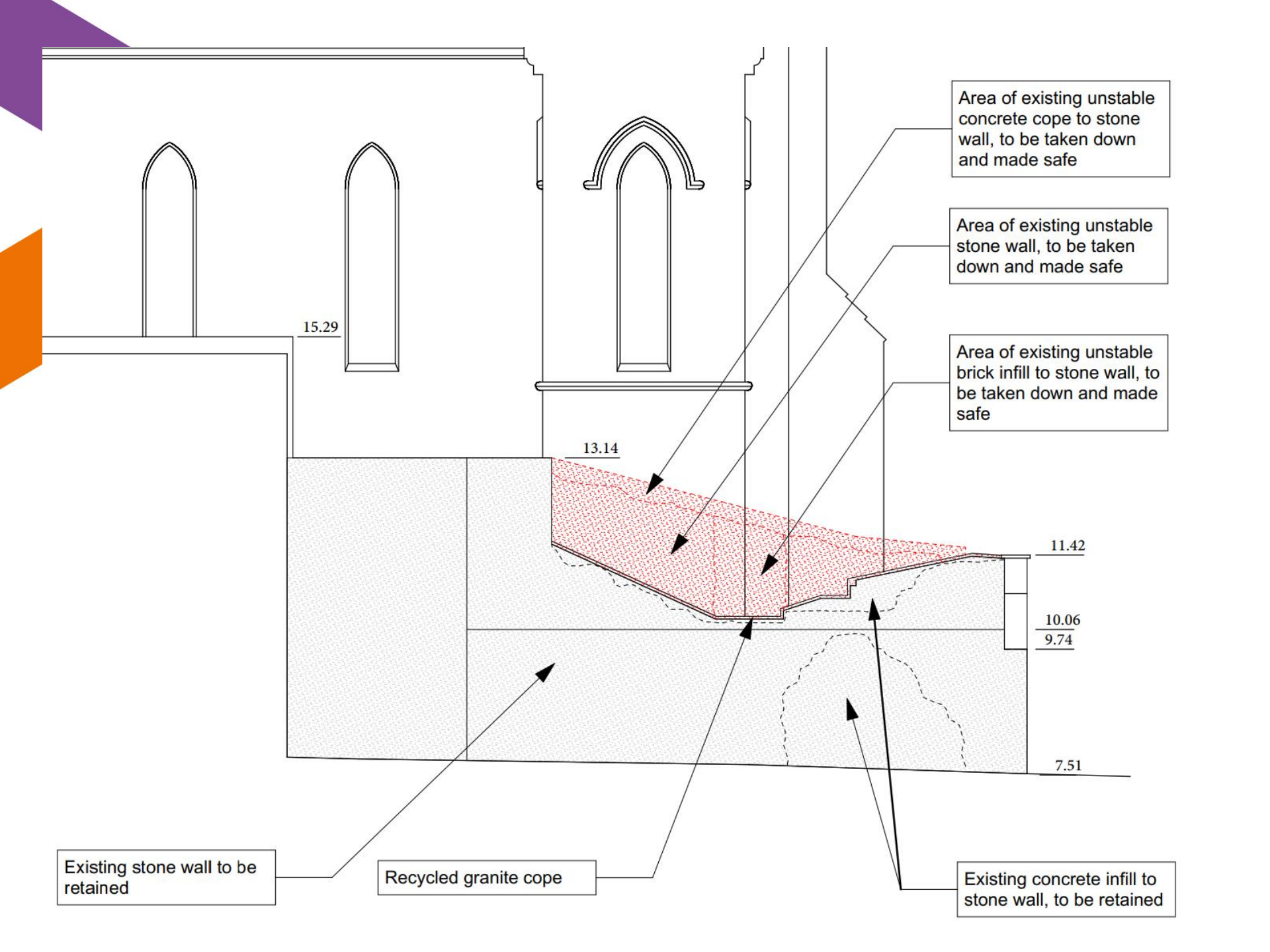
Parapet wall in dangerous condition, wall to be reduced in height and made safe.

Rubble natural stone half height wall.

Rubble natural stone wall to be retained

Decorative stone archway & metal gate.

Parapet wall with concrete coping.



Area of existing unstable concrete cope to stone wall, to be taken down and made safe

Area of existing unstable stone wall, to be taken down and made safe

Area of existing unstable brick infill to stone wall, to be taken down and made safe

Existing stone wall to be retained

Recycled granite cope

Existing concrete infill to stone wall, to be retained

15.29

13.14

11.42

10.06

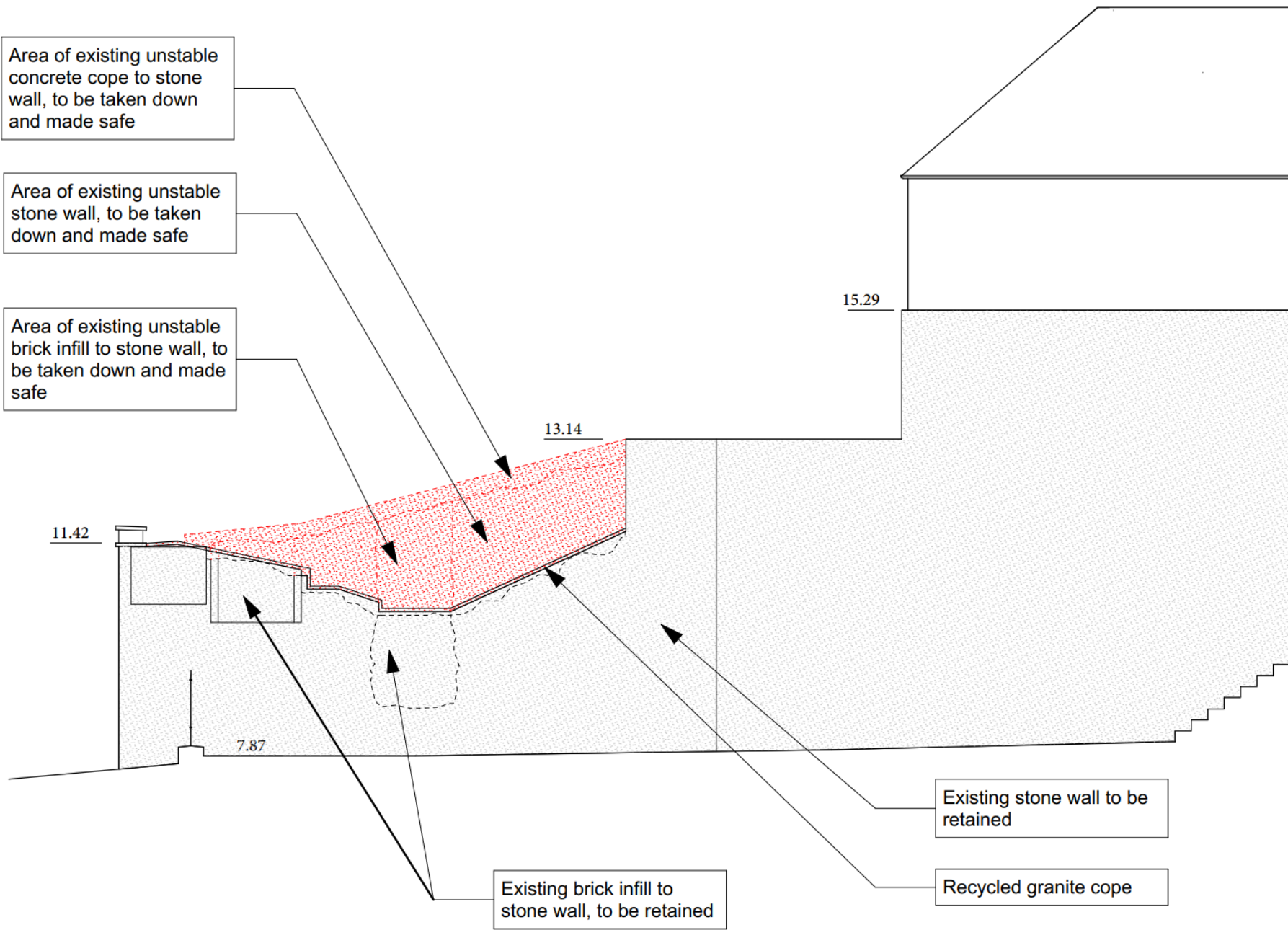
9.74

7.51

Area of existing unstable concrete cope to stone wall, to be taken down and made safe

Area of existing unstable stone wall, to be taken down and made safe

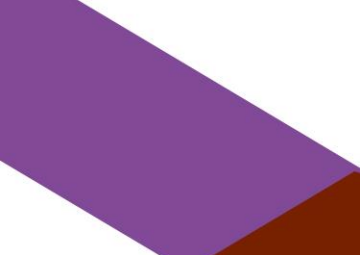
Area of existing unstable brick infill to stone wall, to be taken down and made safe

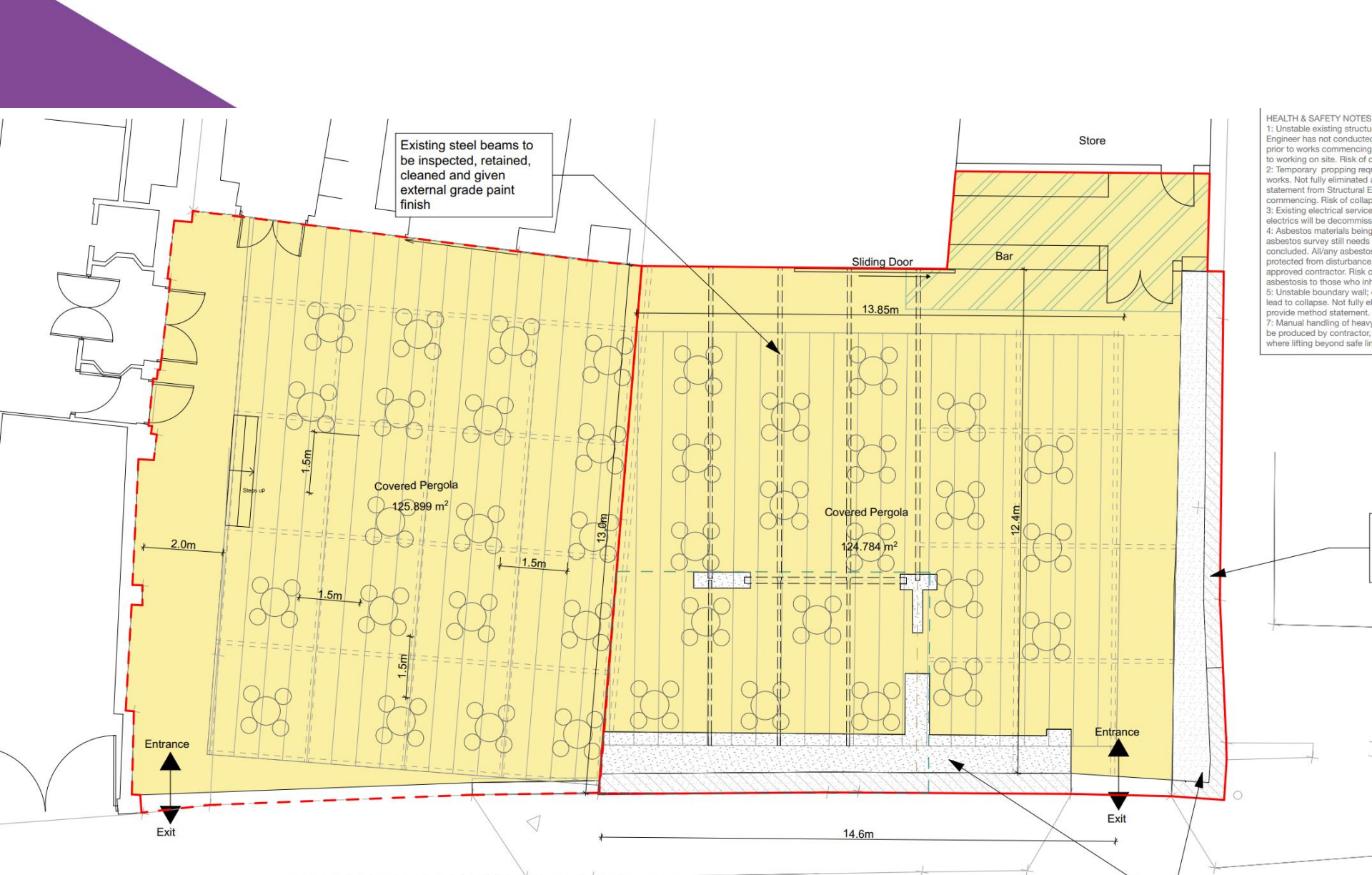


Existing stone wall to be retained

Existing brick infill to stone wall, to be retained

Recycled granite cope

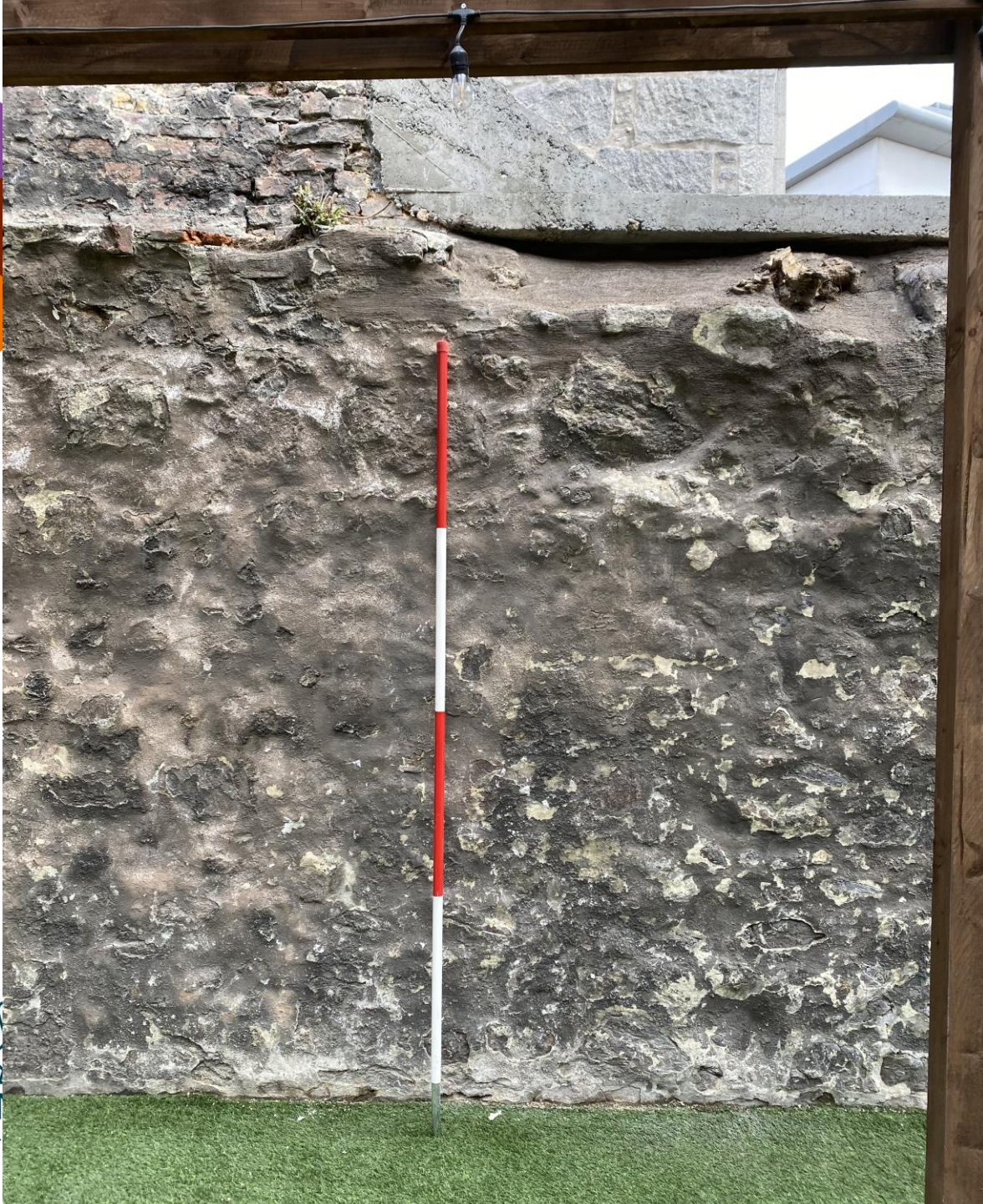




- HEALTH & SAFETY NOTES**
- 1: Unstable existing structure prior to works commencing to working on site. Risk of collapse.
 - 2: Temporary propping required for works. Not fully eliminated until statement from Structural Engineer commencing. Risk of collapse.
 - 3: Existing electrical services to be decommissioned by approved contractor. Risk of electrocution.
 - 4: Asbestos materials being removed. Asbestos survey still needs to be concluded. All any asbestos to be removed by approved contractor. Risk of asbestosis to those who inhale.
 - 5: Unstable boundary wall; lead to collapse. Not fully eliminated until method statement provided.
 - 6: Manual handling of heavy materials to be produced by contractor, where lifting beyond safe limits.







1.2m HIGH INTERCOM ON
STAINLESS STEEL POST



PRIVATE CARPARK
CLAMPING IN USE







MY CLUB







